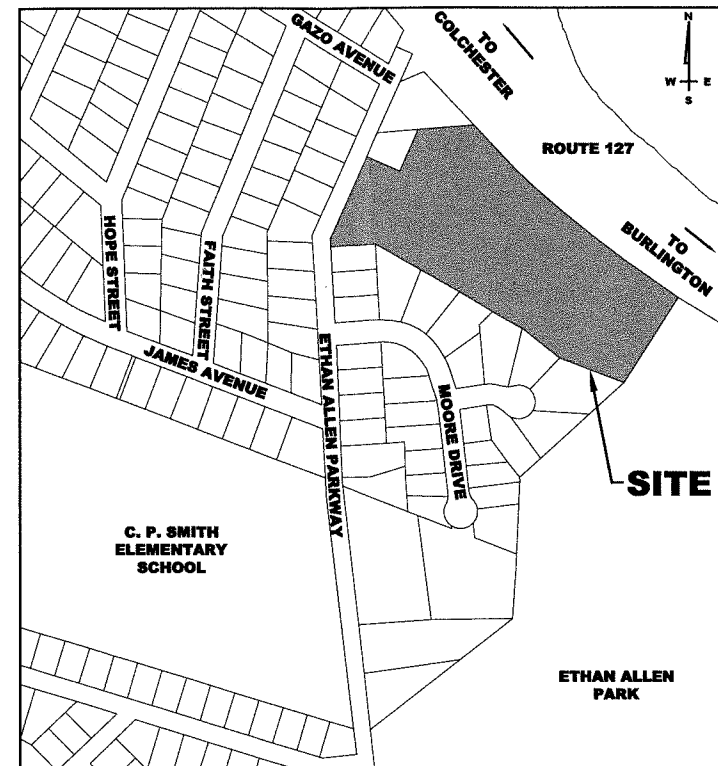


LIAHONA WAY

A 9 UNIT NEIGHBORHOOD

ETHAN ALLEN PARKWAY
BURLINGTON, VERMONT



LOCATION PLAN

N.T.S.

SHEET INDEX

- 1 OVERALL SITE PLAN
- 2 EXISTING CONDITIONS SITE PLAN
- 3 WETLANDS PLAN
- 4 SITE AND UTILITY PLAN
- 5 LANDSCAPING AND GRADING PLAN
- 6 LIGHTING GRID PLAN
- 7 DRIVE PROFILE, TYPICALS & SPECIFICATIONS
- DETAILS AND SPECIFICATIONS
- 8 SANITARY AND STORM SEWER
- 9 LANDSCAPING AND EROSION
- 10 WATER
- 11 EROSION PREVENTION & SEDIMENT CONTROL PLAN

OWNERS/APPLICANTS:

TIMOTHY G. ALLES
2658 E. SNOW MOUNTAIN DR.
SANDY, UT 84093

WILLIAM E. ELLIS
800 S. MAIN ST.
PLEASANT GROVE, UT 84062

LD LAMOUREUX & DICKINSON
Consulting Engineers, Inc.
14 Morse Drive
Essex Junction, VT 05432
Tel: 802-878-4430

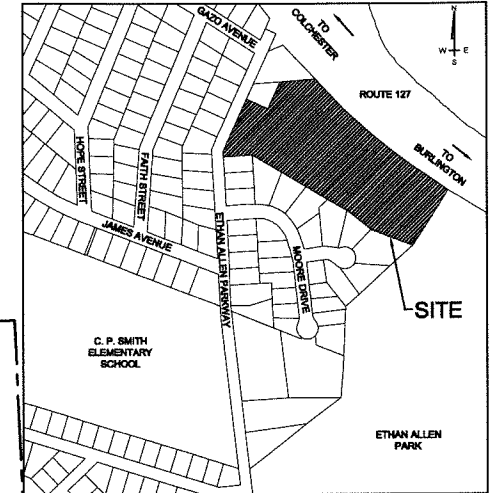
RECEIVED
DEC 10 2015

DEPARTMENT OF
PLANNING & ZONING

RECEIVED
FED 08 2016

DEPARTMENT OF
PLANNING & ZONING

THE CONTRACTOR SHALL NOTIFY "DIGSAFE" AT
1-888-DIG-SAFE PRIOR TO ANY EXCAVATION.



LOCATION PLAN

N.T.S.

ETHAN ALLEN PARK

LEGEND

- PROJECT BOUNDARY
- PROPERTY LINE
- BUILDING SETBACK
- N/F
- EXISTING GROUND CONTOUR
- EXISTING WATER LINE, GATE VALVE & HYDRANT
- EXISTING SANITARY SEWER LINE & MANHOLE
- EXISTING STORM LINE AND CATCH BASIN
- NEW TREE LINE
- NEW BUILDING MOUNTED LIGHT
- NEW WATER LINE, GATE VALVE AND HYDRANT
- NEW SANITARY SEWER LINE AND MANHOLE
- PROPOSED UNIT NUMBER
- WETLAND

NOTES

- THE BOUNDARY LINE BETWEEN THE RCO AND RL ZONING DISTRICTS IS APPROXIMATE ONLY AND IS BASED ON THE INFORMATION INDICATED AT THE CITY OF BURLINGTON WEB SITE AT THE FOLLOWING URL: WWW.CI.BURLINGTON.VT.US/PLANNING/ZONING/ZNMAP/Q92224.HTML
- THE BOUNDARIES OF THE PARCEL AND THE TOPOGRAPHIC DATA ARE BASED ON A PLAN ENTITLED "PROPOSED THREE LOT SUBDIVISION FOR ALAN GIGUERE" BY VERMONT LAND SURVEYORS, DATED 2/10/98.
- THE SOILS ON THIS PROPERTY ARE A COMBINATION OF ADAMS AND WINDSOR LOAMY SANDS AND DUANE & DEERFIELD SOILS.

1-25-16	REVISED PER TECHNICAL REVIEW NOTES	DLH
4-1-15	REVISED FOR PRELIMINARY RE-FILING TO CITY	DLH
5-24-11	ADD EASEMENT AND CONVEYANCE TO CITY	DLH
4-4-11	REVISE LAYOUT	DLH
10-29-10	REVISE LAYOUT	DLH
8-26-10	GENERAL REVISIONS PER COURT APPEAL	DLH
9-11-09	REVISED PERVIOUS CONCRETE DETAILS	DLH
7-13-09	REVISED LIGHTING AND LANDSCAPING	DLH
1-9-08	REVISED DRIVEWAY LAYOUT	DLH
10-5-07	REVISED LAYOUT	DLH
8-7-07	REVISED LAYOUT	DLH
Date	Revision	By

These plans shall only be used for the purpose shown below:

- | | |
|---|---|
| <input type="checkbox"/> Sketch/Concept | <input type="checkbox"/> Act 250 Review |
| <input type="checkbox"/> Preliminary | <input type="checkbox"/> Construction |
| <input type="checkbox"/> Final Local Review | <input type="checkbox"/> Record Drawing |

NOT FOR CONSTRUCTION

Lands of
Tim Alles & Bill Ellis
Ethan Allen Parkway, Burlington, Vermont
A PLANNED RESIDENTIAL DEVELOPMENT
OVERALL SITE PLAN

proj. no.
07028
survey
Others
design
DLH
drawn
SEA
checked
DJG
date
04/09/07
scale
1" = 40'
sht. no.
1
of 11

LD LAMOUREUX & DICKINSON
Consulting Engineers, Inc.
14 Morse Drive
Essex Junction, VT 05452
Tel: 802-878-4450

GAZO AVENUE

ETHAN ALLEN PARKWAY

RONALD STEWART
N/F
VOL. 879, PG. 19

DELORISE KAMINS
N/F
VOL. 428, PG. 498

PATRICK & GLORIANE BROWN
N/F
VOL. 972, PG. 200

THOMAS & CATHLEEN
BARA
N/F
VOL. 520, PG. 502

CHRISTINE & GEORGE
ALVANOS
N/F
VOL. 520, PG. 529

LAWRENCE GAGNE
N/F
VOL. 742, PG. 692

TBM - SANITARY SEWER MANHOLE
RIM ELEV = 155.04

EMILY & MICHAEL HENRY
VOL. 1223, PG. 453

JOHN & MARY BRENNAN
N/F
VOL. 1119, PG. 215

DEBRA WELLS & STEVEN
STONE
N/F
VOL. 662, PG. 255

NATHAN & KATHLEEN MONFORTE
N/F
VOL. 1144, PG. 447

SUSAN REARDON
N/F
VOL. 271, PG. 487

MICHAEL & HEATHER SIENKIEWICZ
N/F
VOL. 893, PG. 365

TRUST OF OLIVER HOWARD
N/F
VOL. 635, PG. 181

JAMES & ELIZABETH SANDERS
N/F
VOL. 1199, PG. 219

PROJECT DATA

- PARCEL SIZE 311,936 SQ. FT. (7.16 ACRES)
- ZONING DISTRICT - RCO - RECREATION AND CONSERVATION DISTRICT - 55,750 SF (1.28 AC.)
- RL - RESIDENTIAL - LOW DENSITY - 256,186 SF (5.88 AC.)

- BUILDABLE LAND
TOTAL PROPERTY AREA = 311,936 SQ. FT.
MINUS 100% OF WETLANDS = -73,558 SQ. FT.
MINUS 100% OF LAND STEEPER THAN 30% = -51,822 SQ. FT.
MINUS 50% OF LAND BETWEEN 15% & 30% = -27,730 SQ. FT.
BUILDABLE LAND = 158,826 SQ. FT.

- ALLOWABLE DENSITY (USING RL REQUIREMENTS)
7 UNITS / ACRE OF BUILDABLE LAND (3.65 ACRES OF BUILDABLE LAND)
3.65 AC. x 7 UNITS/AC. = 25 UNITS ALLOWED
9 UNITS PROPOSED
MAXIMUM COVERAGE ALLOWED = 35%
PROPOSED LOT COVERAGE = 5.8%

- ZONING DIMENSIONAL REQUIREMENTS
FRONT YARD SETBACK = 15'
REAR YARD SETBACK = 75'
RIGHT SIDE YARD SETBACK = 9.25'
LEFT SIDE YARD SETBACK = 20'
HEIGHT: 35' MEAN GROUND LEVEL IN FRONT TO AVG. HEIGHT OF ROOF PITCH (< 30' PROPOSED)

- PARKING REQUIREMENTS
2 PARKING SPACES PER DWELLING UNIT x 9 UNITS = 18 PARKING SPACES REQUIRED
24 PARKING SPACES PROVIDED
18 SPACES INSIDE (GARAGE)

- UTILITIES
WATER AND SEWER ARE MUNICIPAL
ALL UTILITIES WILL BE UNDERGROUND

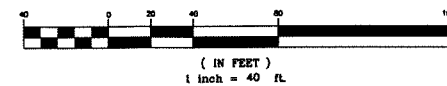
- STORMWATER TO INCLUDE ON-SITE TREATMENT, DETENTION
WITH OVERFLOW INTO ADJACENT WETLANDS

OWNERS/APPLICANTS

TIM ALLES
2658 E. SNOW MOUNTAIN DR.
SANDY, UT 84093

BILL ELLIS
2139 NORTH 250 EAST ST.
PROVO, UT 84604

GRAPHIC SCALE

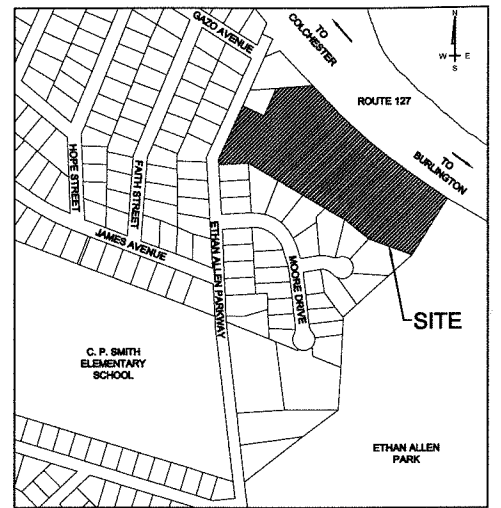


P:\2007\07028-2014\dwg\07028-2.dwg, 12/10/2015 12:50:07 PM

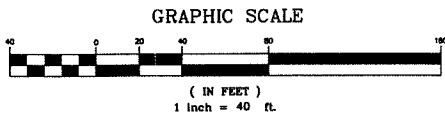
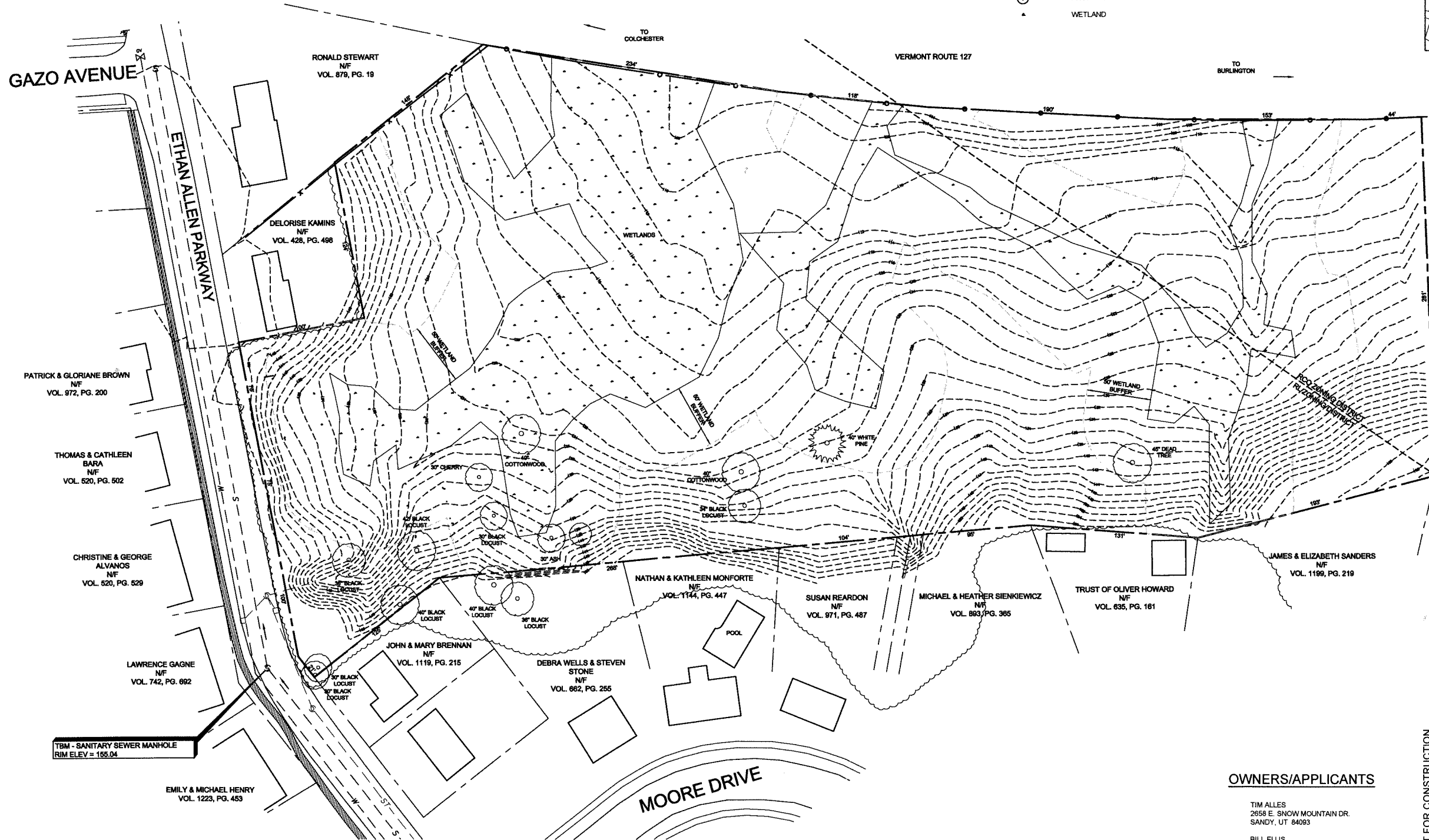
THE CONTRACTOR SHALL NOTIFY "DIGSAFE" AT 1-888-DIG-SAFE PRIOR TO ANY EXCAVATION.

LEGEND

- PROJECT BOUNDARY
- PROPERTY LINE
- BUILDING SETBACK
- N/F NOW OR FORMERLY
- EXISTING GROUND CONTOUR
- EXISTING WATER LINE, GATE VALVE & HYDRANT
- EXISTING SANITARY SEWER LINE & MANHOLE
- EXISTING STORM LINE AND CATCH BASIN
- NEW TREE LINE
- NEW BUILDING MOUNTED LIGHT
- NEW WATER LINE, GATE VALVE AND HYDRANT
- NEW SANITARY SEWER LINE AND MANHOLE
- PROPOSED UNIT NUMBER
- WETLAND



LOCATION PLAN
N.T.S.



OWNERS/APPLICANTS

TIM ALLES
2658 E. SNOW MOUNTAIN DR.
SANDY, UT 84093
BILL ELLIS
2139 NORTH 250 EAST ST.
PROVO, UT 84604

4-1-15	REVISED FOR PRELIMINARY RE-FILE TO CITY	DLH
5-24-11	ADD EASEMENT AND CONVEYANCE TO CITY	DLH
4-4-11	REVISE LAYOUT	DLH
10-29-10	REVISE LAYOUT	DLH
8-26-10	GENERAL REVISIONS PER COURT APPEAL	DLH
9-11-09	REVISED PERVIOUS CONCRETE DETAILS	DLH
7-13-09	REVISED LIGHTING AND LANDSCAPING	DLH
1-9-08	REVISED DRIVEWAY LAYOUT	DLH
10-5-07	REVISED LAYOUT	DLH
8-7-07	REVISED LAYOUT	DLH
Date	Revision	By

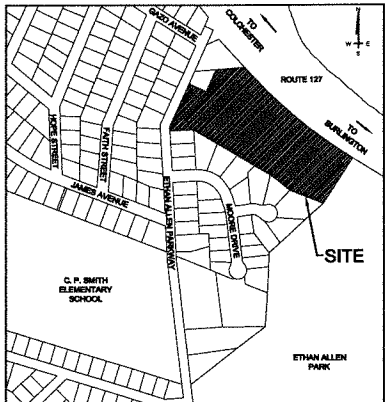
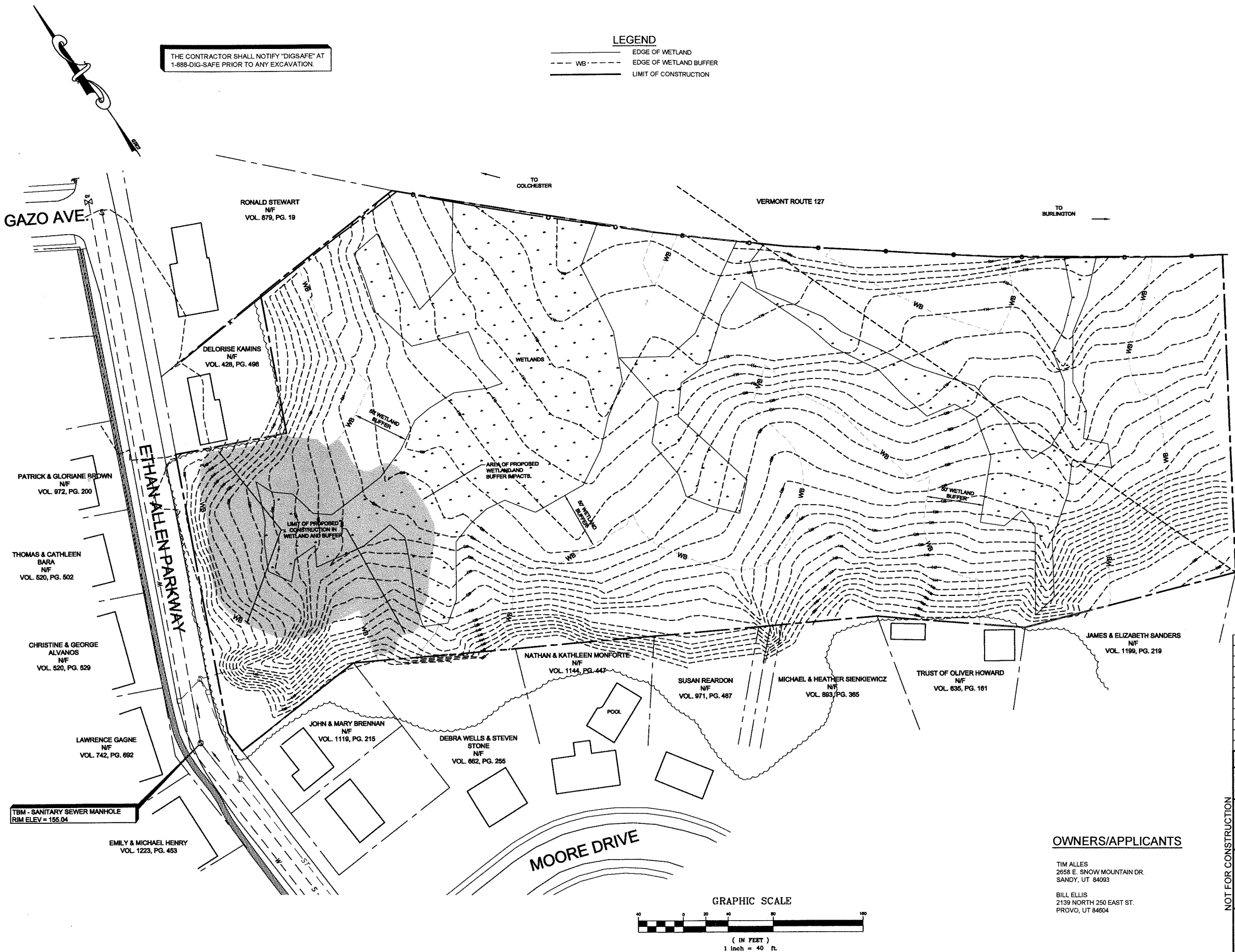
These plans shall only be used for the purpose shown below:

<input type="checkbox"/> Sketch/Concept	<input type="checkbox"/> Act 250 Review
<input type="checkbox"/> Preliminary	<input type="checkbox"/> Construction
<input type="checkbox"/> Final Local Review	<input type="checkbox"/> Record Drawing

Lands of Tim Alles & Bill Ellis Ethan Allen Parkway, Burlington, Vermont		proj. no. 07028
A PLANNED RESIDENTIAL DEVELOPMENT		survey Others
EXISTING CONDITIONS		design DLH
SITE PLAN		drawn SEA
		checked DJG
		date 04/09/07
		scale 1" = 40'
		sht. no. 2
		of 11

LD LAMOUREUX & DICKINSON
Consulting Engineers, Inc.
14 Morse Drive
Essex Junction, VT 05452
Tel: 802-878-4450

P:\2007\07028-2014\dwg\07028-3.dwg, 12/10/2015 12:50:42 PM



LOCATION PLAN
N.T.S.

ETHAN ALLEN PARK

4-1-15	REVISED FOR PRELIMINARY RE-FILING TO CITY	DLH
5-24-11	ADD EASEMENT AND CONVEYANCE TO CITY	DLH
4-4-11	REVISE LAYOUT	DLH
10-29-10	REVISE LAYOUT	DLH
8-26-10	GENERAL REVISIONS PER COURT APPEAL	DLH
9-11-09	REVISED PERVIOUS CONCRETE DETAILS	DLH
7-13-09	REVISED LIGHTING AND LANDSCAPING	DLH
1-9-08	REVISED DRIVEWAY LAYOUT	DLH
10-5-07	REVISED LAYOUT	DLH
8-7-07	REVISED LAYOUT	DLH
Date	Revision	By

These plans shall only be used for the purpose shown below:

<input type="checkbox"/> Sketch/Concept	<input type="checkbox"/> Act 250 Review
<input type="checkbox"/> Preliminary	<input type="checkbox"/> Construction
<input type="checkbox"/> Final Local Review	<input type="checkbox"/> Record Drawing

Lands of
Tim Alles & Bill Ellis
Ethan Allen Parkway, Burlington, Vermont
A PLANNED RESIDENTIAL DEVELOPMENT
WETLANDS PLAN



LAMOUREUX & DICKINSON
Consulting Engineers, Inc.
14 Morse Drive
Essex Junction, VT 05452
Tel: 802-878-4450

proj. no.
07028
survey
Others
design
DLH
drawn
SEA
checked
DJG
date
04/09/07
scale
1" = 40'
sh. no.
3
of 11

OWNERS/APPLICANTS

TIM ALLES
2658 E. SNOW MOUNTAIN DR.
SANDY, UT 84093

BILL ELLIS
2139 NORTH 250 EAST ST.
PROVO, UT 84604

RECEIVED
FEB 08 2016

DEPARTMENT OF
PLANNING & ZONING

THE CONTRACTOR SHALL NOTIFY "DIGSAFE" AT
1-888-DIG-SAFE PRIOR TO ANY EXCAVATION.

YARD INLET DATA

Y1 #1	RIM ELEV = 144.7 INSTALLED ON DRYWELL 6" INV. OUT = 143.35
Y1 #2	RIM ELEV = 144.7 INSTALLED ON DRYWELL 6" INV. OUT = 143.25
Y1 #3	RIM ELEV = 136.7 INSTALLED ON DRYWELL

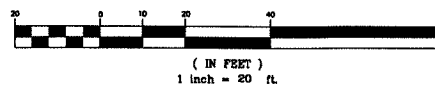
VTRANS SPECIFICATION 703.03

SEIVE DESIGNATION	PERCENTAGE BY WEIGHT PASSING SQUARE MESH SCREEN
2 INCH	100
1 1/2 INCH	90 TO 100
3/4 INCH	70 TO 100
NO. 4	80 TO 100
NO. 100	0 TO 20
NO. 200	0 TO 8

NOTES:

- THE DRIVE AND ALL SIDEWALKS ARE TO BE CONSTRUCTED OF PERVIOUS CONCRETE.
- THE FILL MATERIAL USED ON THE PROJECT SHALL BE NATIVE MATERIAL OR IMPORTED MATERIAL MEETING VTRANS COMMON FILL SPECIFICATION 703.03.

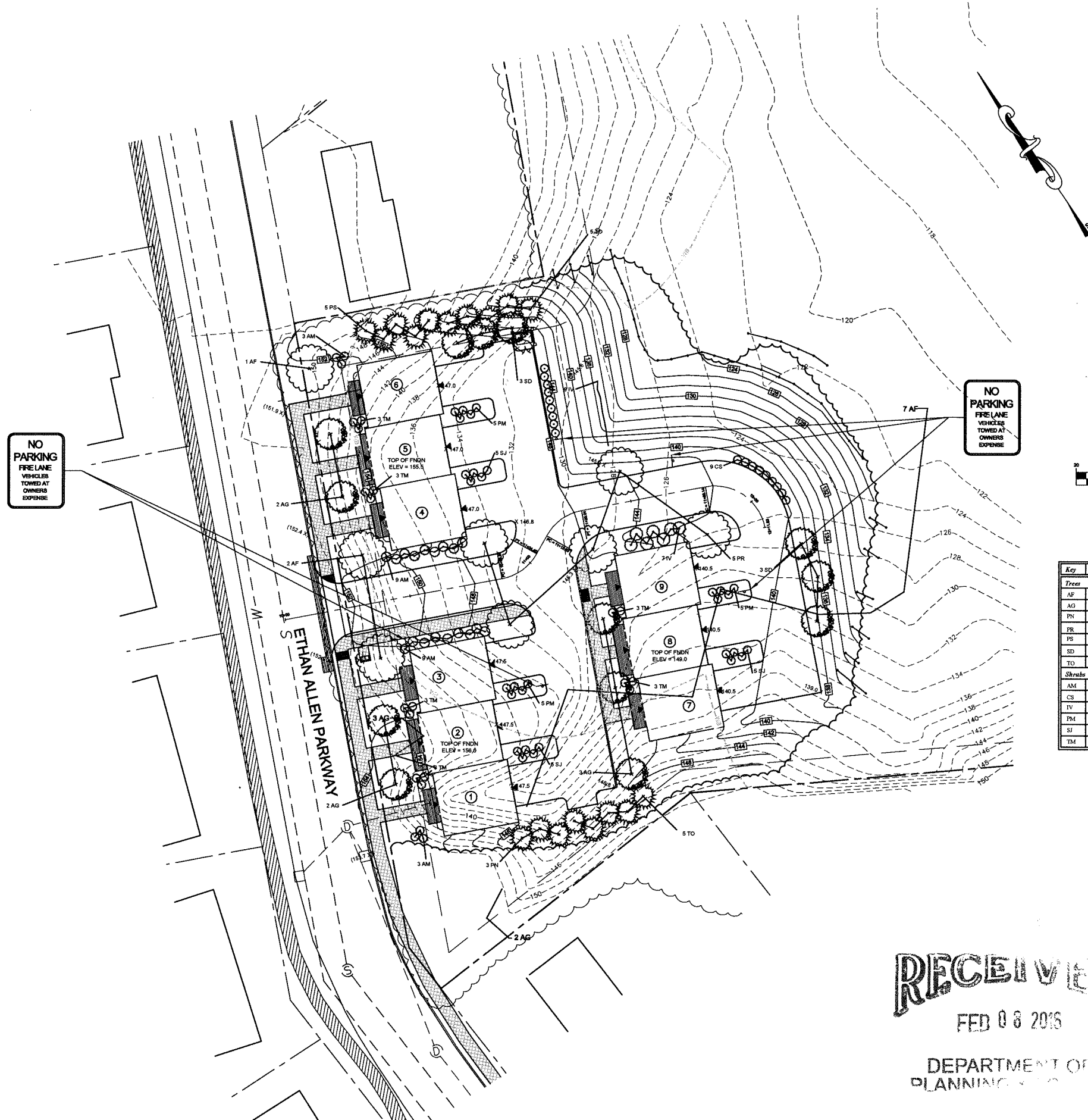
GRAPHIC SCALE



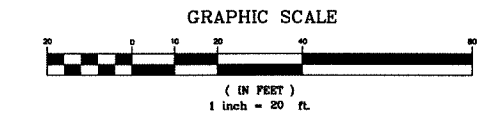
LEGEND	
---	PROJECT BOUNDARY
---	PROPERTY LINE
---	BUILDING SETBACK
N/F	NOW OR FORMERLY
---	EXISTING GROUND CONTOUR
---X---	EXISTING WATER LINE, GATE VALVE & HYDRANT
---S---	EXISTING SANITARY SEWER LINE & MANHOLE
---□---	EXISTING STORM LINE AND CATCH BASIN
---	NEW TREE LINE
---	NEW BUILDING MOUNTED LIGHT
---X---	NEW WATER LINE, GATE VALVE AND HYDRANT
---S---	NEW SANITARY SEWER LINE AND MANHOLE
---□---	NEW STORM LINE AND DRY WELL
⑨	PROPOSED UNIT NUMBER
AB-1 14.0	BORING NUMBER AUGER BORING LOCATION DEPTH (FT) TO EVIDENCE OF HIGH GROUNDWATER

1-25-16	REVISED PER TECHNICAL REVIEW NOTES	DLH
4-1-15	REVISED FOR PRELIMINARY RE-FILING TO CITY	DLH
5-24-11	ADD EASEMENT AND CONVEYANCE TO CITY	DLH
4-4-11	REVISE LAYOUT	DLH
10-29-10	REVISE LAYOUT	DLH
8-26-10	GENERAL REVISIONS PER COURT APPEAL	DLH
9-11-09	REVISED PERVIOUS CONCRETE DETAILS	DLH
7-13-09	REVISED LIGHTING AND LANDSCAPING	DLH
1-9-08	REVISED DRIVEWAY LAYOUT	DLH
10-5-07	REVISED LAYOUT	DLH
8-7-07	REVISED LAYOUT	DLH
Date	Revision	By

These plans shall only be used for the purpose shown below:		
<input type="checkbox"/> Sketch/Concept	<input type="checkbox"/> Act 250 Review	
<input type="checkbox"/> Preliminary	<input type="checkbox"/> Construction	
<input type="checkbox"/> Final Local Review	<input type="checkbox"/> Record Drawing	
Lands of Tim Alles & Bill Ellis Ethan Allen Parkway, Burlington, Vermont		
A PLANNED RESIDENTIAL DEVELOPMENT SITE & UTILITY PLAN		
proj. no. 07028 survey Others design DLH drawn SEA checked DJG date 04/09/07 scale 1" = 20' shd. no. 4 of 11		
LD LAMOUREUX & DICKINSON Consulting Engineers, Inc. 14 Morse Drive Essex Junction, VT 05452 Tel: 802-878-4450		



- LEGEND**
- PROJECT BOUNDARY
 - PROPERTY LINE
 - SIDELINE OF EASEMENT
 - BUILDING SETBACK
 - N/F
 - EXISTING GROUND CONTOUR
 - EXISTING WATER LINE, GATE VALVE & HYDRANT
 - EXISTING SANITARY SEWER LINE & MANHOLE
 - EXISTING STORM LINE AND CATCH BASIN
 - NEW TREE LINE
 - NEW WATER LINE, GATE VALVE AND HYDRANT
 - NEW SANITARY SEWER LINE AND MANHOLE
 - NEW STORM LINE AND CATCH BASIN
 - PROPOSED UNIT NUMBER
 - GFE
 - PROPOSED FINISH GRADE CONTOUR
 - PROPOSED FINISH SPOT GRADE
 - EXISTING SPOT GRADE



PLANTING SCHEDULE

Key	Botanical Name	Common Name	Size	Quantity	Remarks
Trees					
AF	<i>Acer x freemanii 'Autumn Blaze'</i>	Freeman Maple	2 1/2" to 3" Cal.	3	B&B, Minimum 6 foot branching height
AG	<i>Amelanchier x grandiflora</i>	Apple Serviceberry	1 3/4" to 2" Cal.	4	B&B, Minimum 6 foot branching height
PN	<i>Pinus nigra</i>	Austrian Pine	5' to 6' Height	3	B&B
PR	<i>Prunus Sargentii</i>	Sargent Cherry	2" to 2 1/2" Cal.	5	B&B
PS	<i>Pinus strobus</i>	Scots Pine	5' to 6' Height	5	B&B
SD	<i>Sorbus decora</i>	Showy Mountainash	1 3/4" to 2" Cal.	6	B&B, Minimum 6 foot branching height
TO	<i>Thuja occidentalis</i>	Arbovitae	5' to 6' Height	5	B&B
Shrubs					
AM	<i>Arctostaphylos uva-ursi</i>	Black Chokeberry	24" to 30" Height	22	B&B or Container
CS	<i>Cornus sericea</i>	Red Osier Dogwood	24" to 30" Height	9	B&B or Container
IV	<i>Ilex verticillata</i>	Winterberry	24" to 30" Height	15	B&B or Container
PM	<i>Prunus maritima</i>	Beach Plum	24" to 30" Height	15	B&B or Container
SI	<i>Spiraea japonica</i>	Japanese Spirea	24" to 30" Height	15	B&B or Container
TM	<i>Taxus x media</i>	Yew	24" to 30" Height	18	B&B or Container

1-25-16	REVISED PER TECHNICAL REVIEW NOTES	DLH
4-1-15	REVISED FOR PRELIMINARY RE-FILING TO CITY	DLH
5-24-11	ADD EASEMENT AND CONVEYANCE TO CITY	DLH
4-4-11	REVISE LAYOUT	DLH
10-29-10	REVISE LAYOUT	DLH
8-26-10	GENERAL REVISIONS PER COURT APPEAL	DLH
9-11-09	REVISED PERVIOUS CONCRETE DETAILS	DLH
7-13-09	REVISED LIGHTING AND LANDSCAPING	DLH
1-9-08	REVISED DRIVEWAY LAYOUT	DLH
10-5-07	REVISED LAYOUT	DLH
8-7-07	REVISED LAYOUT	DLH
Date	Revision	By

These plans shall only be used for the purpose shown below:

<input type="checkbox"/> Sketch/Concept	<input type="checkbox"/> Act 250 Review
<input type="checkbox"/> Preliminary	<input type="checkbox"/> Construction
<input type="checkbox"/> Final Local Review	<input type="checkbox"/> Record Drawing

RECEIVED

FEB 08 2016

DEPARTMENT OF PLANNING & CONSTRUCTION

NOT FOR CONSTRUCTION

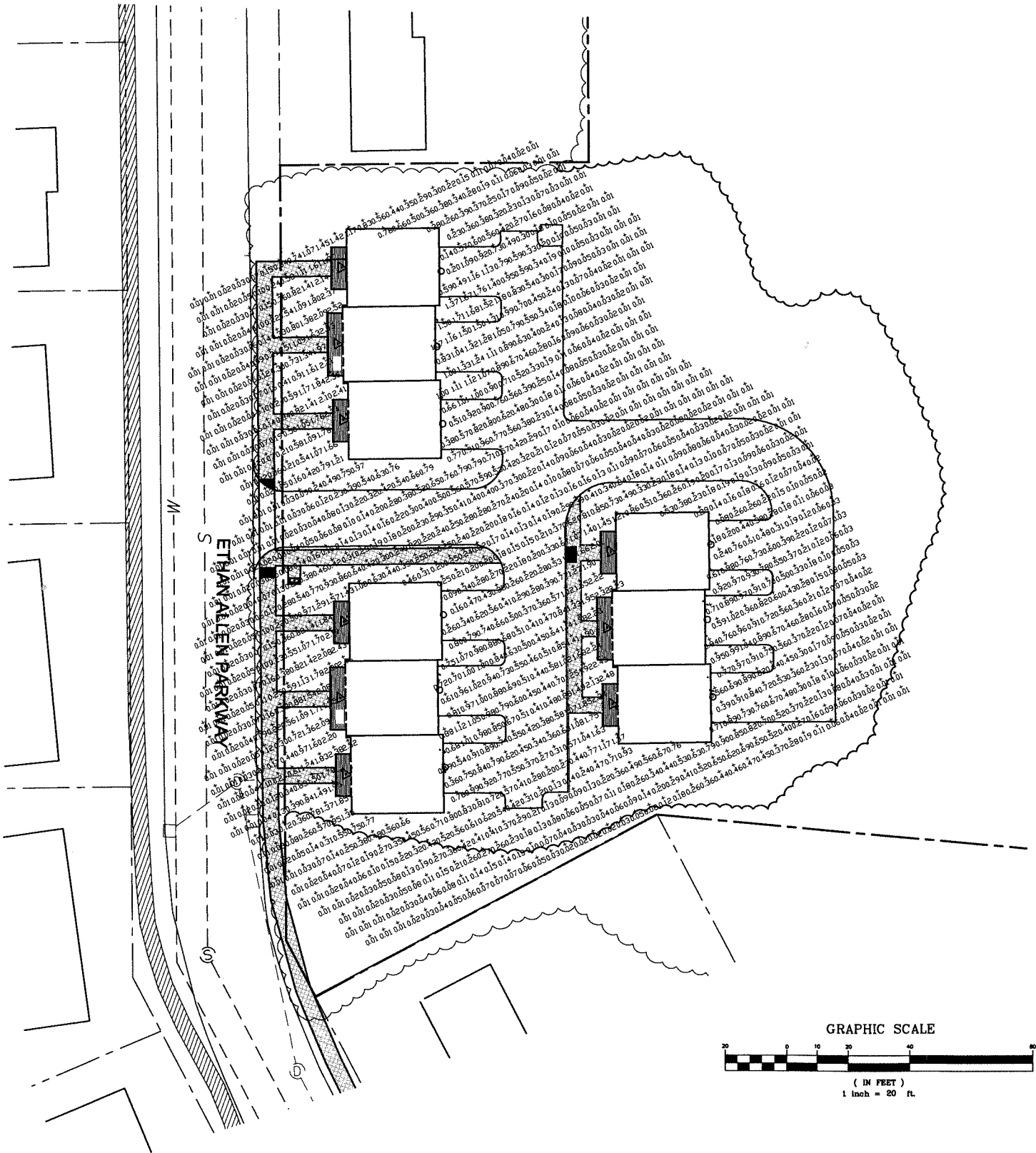
Lands of
Tim Alles & Bill Ellis
Ethan Allen Parkway, Burlington, Vermont

A PLANNED RESIDENTIAL DEVELOPMENT

LANDSCAPING & GRADING PLAN

proj. no. 07028
survey
Others
design
DLH
drawn
SEA
checked
DUG
date 04/09/07
scale 1" = 20'
sh. no. 5 of 11

LAMOREUX & DICKINSON
Consulting Engineers, Inc.
14 Morse Drive
Essex Junction, VT 05452
Tel: 802-878-4450



CALCULATION SUMMARY						
# PTS	SPACING	AVE	MAX	MIN	MAX/MIN	AVE/MIN
1601	5	0.57	2.76	0.01	549.46	114.27

Ellis/Alles (07028) LUMINAIRE SCHEDULE						
TYP	SYMBOL	DESCRIPTION	LAMP	LUMENS	LLF	QTY
RND	▲	RAB LIGHTING, 1 (1) "RNDL" WBLED18 (ROUND WALL MOUNT) / BLEDR18 (42" ROUND B	(3)	1240	1.00	9
RND2	○	RAB LIGHTING, 1 (1) "RNDL" WBLED18 (ROUND WALL MOUNT) / BLEDR18 (42" ROUND B	(3)	1240	1.00	9

0.5' LIGHTING SPOT LEVEL (IN FOOT CANDLES)

4-1-15	REVISED FOR PRELIMINARY RE-FILING TO CITY	DLH
5-24-11	ADD EASEMENT AND CONVEYANCE TO CITY	DLH
4-4-11	REVISE LAYOUT	DLH
10-29-10	REVISE LAYOUT	DLH
8-26-10	GENERAL REVISIONS PER COURT APPEAL	DLH
9-11-09	REVISED PERVIOUS CONCRETE DETAILS	DLH
7-13-09	REVISED LIGHTING AND LANDSCAPING	DLH
1-9-08	REVISED DRIVEWAY LAYOUT	DLH
10-5-07	REVISED LAYOUT	DLH
8-7-07	REVISED LAYOUT	DLH
Date	Revision	By

These plans shall only be used for the purpose shown below:

<input type="checkbox"/> Sketch/Concept	<input type="checkbox"/> Act 250 Review
<input type="checkbox"/> Preliminary	<input type="checkbox"/> Construction
<input type="checkbox"/> Final Local Review	<input type="checkbox"/> Record Drawing

Lands of
Tim Alles & Bill Ellis
Ethan Allen Parkway, Burlington, Vermont
A PLANNED RESIDENTIAL DEVELOPMENT

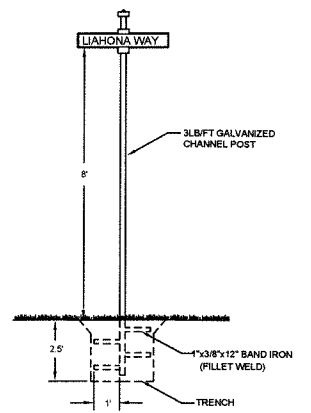
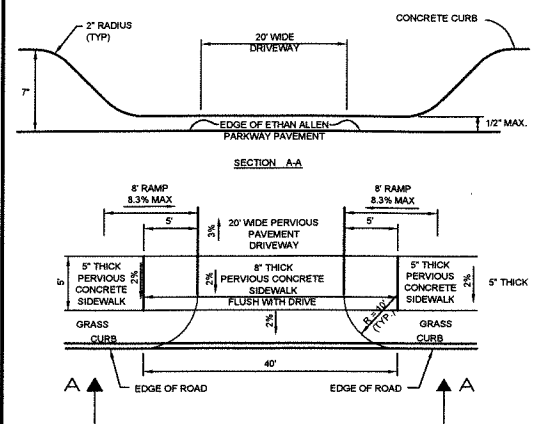
LIGHTING GRID PLAN

LAMOUREUX & DICKINSON
Consulting Engineers, Inc.
14 Morse Drive
Essex Junction, VT 05452
Tel: 802-878-4450

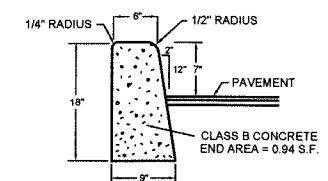
proj. no.
07028
survey
Others
design
DLH
drawn
SEA
checked
DJG
date
04/09/07
scale
1" = 20'
sh. no.
6
of 11

RECEIVED
FEB 08 2016

DEPARTMENT OF
PLANNING & ZONING



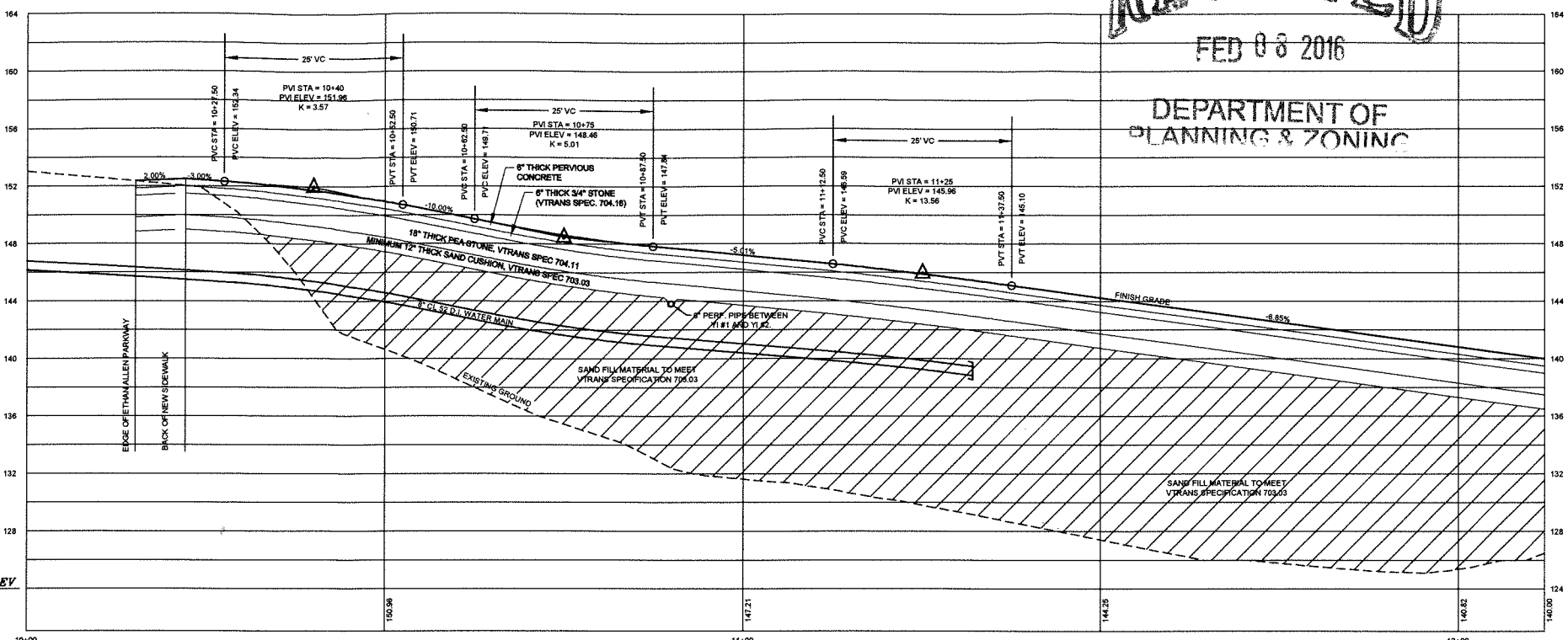
STREET NAME SIGN
NTS



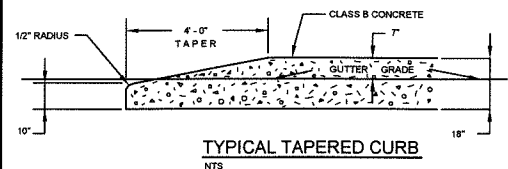
CONCRETE CURB
NTS

- NOTES:
- 1) CURBING SHALL BE CONSTRUCTED IN 10' SECTIONS WITH 1/8\"/>
 - 2) CURBING EXPANSION JOINTS SHALL BE CONSTRUCTED EVERY 20' AND SHALL BE CONSTRUCTED OF MATERIAL CONFORMING TO AASHTO DESIGNATION M-153 (1/2\"/>
 - 3) ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI AT 28 DAYS, SHALL BE AIR ENTRAINMENT AT NOT LESS THAN 5% AND NOT MORE THAN 7% MAX, AND SHALL HAVE MINIMUM 20% FLY ASH CONTENT.

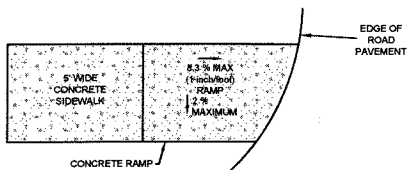
DATUM ELEV
124.00



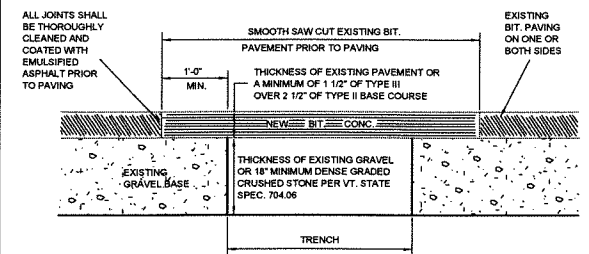
DRIVE PROFILE
SCALE: H: 1\"/>



TYPICAL TAPERED CURB
NTS

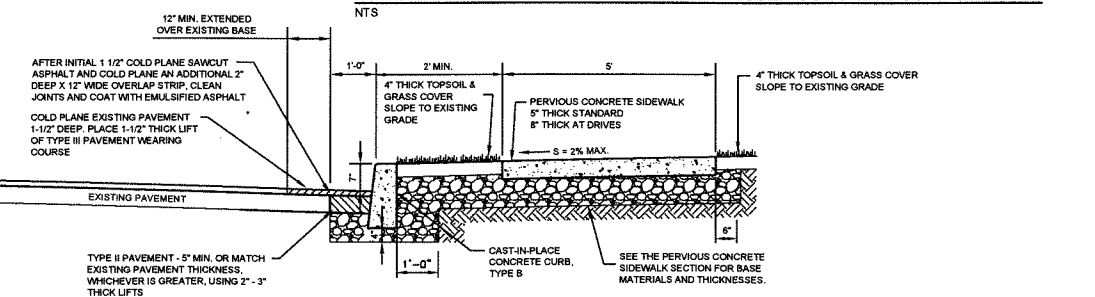


TYPICAL SIDEWALK RAMP DETAIL
NTS



REPLACEMENT OF EXISTING BITUMINOUS PAVEMENT
NTS

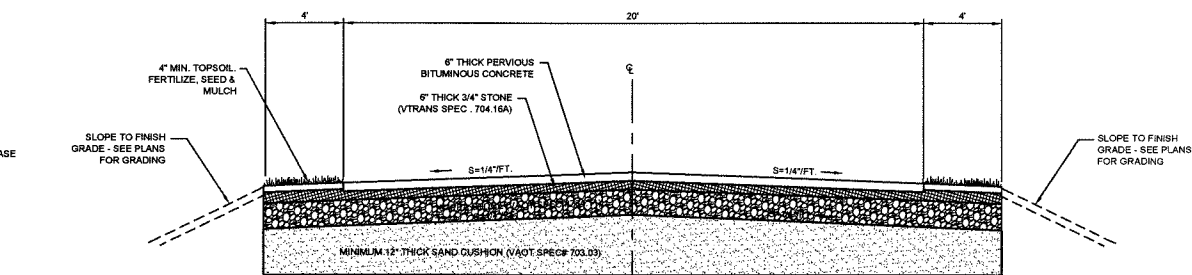
GRADATION REQUIREMENTS		
MATERIAL	SIEVE SIZE	PERCENT (%) PASSING
SAND BORROW AND CUSHION - VT SPEC 703.03	2"	100 %
	1 1/2"	90-100 %
	1/2"	70-100 %
	#4	60-100 %
	#100	0-20 %
PEASTONE - VT SPEC 704.11	#200	0-5 %
	#4	90 TO 100% 0-5 %
DRAINAGE AGGREGATE VT SPEC 704.16A FINE	3/4"	100 %
	5/8"	90 TO 100% 0-5 %
	#4	20-45 %
	#8	0-10 %
CRUSHED GRAVEL FOR SUBBASE VT SPEC 704.05A-FINE	1"	100 %
	3/4"	90-100% 30-60%
	#100	0-12%
	#200	0-6 %
DENSE GRADED CRUSHED STONE VT SPEC 704.06	3 1/2"	100 %
	3"	90-100%
	1"	75-100%
	1/2"	50-80%
	#4	30-60%
	#8	15-40%
	#200	0-6 %



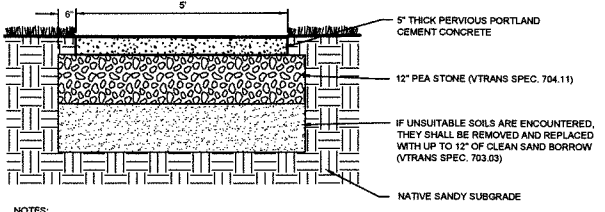
TYPICAL CONCRETE SIDEWALK WITH DEPRESSED CONCRETE CURB SECTION
NTS

CONCRETE SIDEWALK SECTION
ALONG ETHAN ALLEN PARKWAY
NTS

- PAVING NOTES
1. THE CONTRACTOR SHALL APPLY EMULSION TO THE FULL WIDTH OF THE BASE COURSE/EXISTING PAVEMENT BEFORE INSTALLING THE TYPE III PAVEMENT OVERLAY.
 2. A MINIMUM OF ONE (1) GRADATION TEST SHALL BE PERFORMED AT THE CONTRACTOR'S EXPENSE FOR A COMPACTION EVERY 100' SECTION OF SIDEWALK. TESTS SHALL ALSO BE PERFORMED AT THE CONTRACTOR'S EXPENSE EVERY 50' SECTION OF SIDEWALK OR MORE OFTEN IF THE TEST FAILS TO MEET THE COMPACTION REQUIREMENTS. THE TEST LOCATIONS SHALL BE SELECTED BY THE ENGINEER. ALL TESTS SHALL BE PERFORMED BY AN INDEPENDENT OUTSIDE FIRM.
 3. EMULSION SHALL BE PLACED ON THE FACE OF THE CURB WHERE IT WILL BE IN CONTACT WITH THE PAVEMENT.
 4. THE NEW APRON AT DRIVEWAYS SHALL BE 2" THICK TYPE III PAVEMENT OVER 8" THICK CRUSHED GRAVEL #704.05 FINE GRADED. MATCH INTO EXISTING PAVEMENT WITH SAW CUT JOINTS COATED WITH EMULSIFIED ASPHALT.
 5. EMULSIFIED ASPHALT, TO BE APPLIED AT THE RATE OF 0.015 GAL./SQ YD
 6. BITUMINOUS CONCRETE PAVEMENT TOLERANCE = +1/4" - (FOR TOTAL THICKNESS OF BINDER AND/OR WEARING COURSE).
 7. BITUMINOUS CONCRETE PAVEMENT SHALL BE 75 BLOW MARSHALL MIX AND PERFORMANCE GRADED BINDER SHALL BE PG 58-34.



TYPICAL DRIVE CROSS-SECTION
NTS



- NOTES:
1. PRIOR TO PLACING THE SUBBASE, THE CONTRACTOR SHALL NOTIFY THE ENGINEER FOR INSPECTION OF THE SUBGRADE SOILS.
 2. AT BUILDING ENTRANCES, THE DEPTH OF SUBBASE SHALL BE INCREASED TO 24" AND THE DEPTH OF SAND BORROW SHALL BE INCREASED TO 24" AND TAPERED TO THE STANDARD DEPTH OVER A MINIMUM TRANSITION DISTANCE OF 10 FEET.
 3. THE CONCRETE MIX DESIGN SHALL BE SUBMITTED FOR REVIEW PRIOR TO CONSTRUCTION. THE PERVIOUS CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI, AND A MINIMUM PERMEABILITY OF 300 IN/HR.
 4. CONSTRUCTION JOINTS SHALL BE MADE WITH A ROLLING JOINT TOOL (NOT CUT) AT INTERVALS OF 10 FEET TO A DEPTH EQUAL TO 1/4 OF THE CONCRETE THICKNESS.
 5. CONCRETE SHALL BE CURED FOR A MINIMUM OF 7 DAYS AS REQUIRED BY THE WRITTEN TECHNICAL SPECIFICATIONS.

PERVIOUS CONCRETE SIDEWALK SECTION
NTS

Date	Revision	By
1-25-16	REVISED PER TECHNICAL REVIEW NOTES	DLH
4-1-15	REVISED FOR PRELIMINARY RE-FILING TO CITY	DLH
5-24-11	ADD EASEMENT AND CONVEYANCE TO CITY	DLH
4-4-11	REVISE LAYOUT	DLH
10-29-10	REVISE LAYOUT	DLH
8-26-10	GENERAL REVISIONS PER COURT APPEAL	DLH
9-11-09	REVISED PERVIOUS CONCRETE DETAILS	DLH
7-13-09	REVISED LIGHTING AND LANDSCAPING	DLH
1-9-08	REVISED DRIVEWAY LAYOUT	DLH
10-5-07	REVISED LAYOUT	DLH
8-7-07	REVISED LAYOUT	DLH

These plans shall only be used for the purpose shown below:

<input type="checkbox"/> Sketch/Concept	<input type="checkbox"/> Act 250 Review
<input type="checkbox"/> Preliminary	<input type="checkbox"/> Construction
<input type="checkbox"/> Final Local Review	<input type="checkbox"/> Record Drawing

NOT FOR CONSTRUCTION

Lands of
Tim Alles & Bill Ellis
Ethan Allen Parkway, Burlington, Vermont

A PLANNED RESIDENTIAL DEVELOPMENT

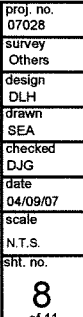
DRIVE PROFILE, TYPICALS
AND SPECIFICATIONS

proj. no. 07028
survey
Others
design
DLH
drawn
SEA
checked
DUG
date 04/09/07
scale N.T.S.
Sht. no. 7
of 11

LD LAMOUREUX & DICKINSON
Consulting Engineers, Inc.
14 Morse Drive
Essex Junction, VT 05452
Tel: 802-878-4450

1. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST VERMONT Agency TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION 2008, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (2003 EDITION), THE BURLINGTON ZONING ORDINANCE REQUIREMENTS AND THESE PLANS.
2. THE CONTRACTOR SHALL CONTACT ALL UTILITIES BEFORE EXCAVATION TO VERIFY THE LOCATION OF ANY UNDERGROUND LINES. THE CONTRACTOR SHALL NOTIFY "XGSAFE" AT 1-888-344-7233 (1-888-DIG-SAFE) & THE CITY OF BURLINGTON AT (802)865-5830 PRIOR TO ANY EXCAVATION.
3. UTILITIES INFORMATION SHOWN HEREIN WERE OBTAINED FROM BEST AVAILABLE SOURCES AND MAY OR MAY NOT BE EITHER ACCURATE OR COMPLETE. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITY, PUBLIC OR PRIVATE, SHOWN OR NOT SHOWN HEREIN. THE CONTRACTOR SHALL CONNECT OR RECONNECT ALL UTILITIES TO THE NEAREST SOURCE THROUGH COORDINATION WITH UTILITY OWNER.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL EXISTING SURFACES, SOILS, AND LINES, AND STRUCTURES NECESSARY TO CONSTRUCT THIS PROJECT UNLESS OTHERWISE NOTED ON THESE PLANS. THE CONTRACTOR SHALL REMOVE ALL EXCESS MATERIAL, DEBRIS AND TRASH FROM THE SITE UPON COMPLETION OF CONSTRUCTION, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE DUST CREATED AS A RESULT OF CONSTRUCTION DOES NOT CREATE A NUISANCE OR A SAFETY HAZARD. WHERE AND WHEN DEEMED NECESSARY BY THE ENGINEER OR OWNER, THE CONTRACTOR SHALL BE REQUIRED TO WET SECTIONS OF THE CONSTRUCTION AREA WITH WATER, APPLY CALCIUM CHLORIDE OR SWEEP ASPHALT ROADS WITH A POWER BROOM AS DUST CONTROL.
6. ANY SURFACES, LINES, OR STRUCTURES WHICH HAVE BEEN DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO THE CONDITION AT LEAST EQUAL TO THAT IN WHICH THEY WERE FOUND IMMEDIATELY PRIOR TO THE BEGINNING OF OPERATIONS.
7. CONSTRUCTION OBSERVATION AND CERTIFICATION IS OFTEN REQUIRED AS A CONDITION OF STATE AND LOCAL PERMITS. IT IS RECOMMENDED THAT CONSTRUCTION OF THE IMPROVEMENTS DETAILED ON THESE PLANS BE OBSERVED BY LABORATORY & FIELD INSPECTION PERSONNEL, INCLUDING, BUT NOT LIMITED TO, THE WORKS SUPERVISOR, IN ORDER TO BE IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. LAD WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS THAT MAY ARISE FROM FAILURE TO FOLLOW THESE PLANS AND SPECIFICATIONS AND THE DESIGN INTENT THAT THEY CONVEY, ANY CHANGES MADE IN THE PLANS AND SPECIFICATIONS OR IN THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS WITHOUT LAD'S PRIOR KNOWLEDGE AND CONSENT, AND/OR FAILURE TO SCHEDULE OBSERVATION OF THE WORK AND TESTING IN PROGRESS.
8. FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY A MINIMUM OF ONE-WAY TRAFFIC SHALL BE MAINTAINED AT ALL TIMES. CONTINUOUS TWO-WAY TRAFFIC WILL BE REQUIRED AT TIMES, DURING PEAK-HOURS, AND WHENEVER POSSIBLE DURING ACTUAL CONSTRUCTION ACTIVITIES. TEMPORARY CONSTRUCTION SIGNS AND TRAFFIC CONTROL SIGNS SHALL BE ERECTED BY THE CONTRACTOR IN ACCORDANCE WITH STATE AND CITY STANDARDS.
9. TO ASSURE COMPLIANCE WITH THE PLANS), THE CONTRACTOR SHALL NOTIFY THE ENGINEER 24 HOURS IN ADVANCE OF STARTING ANY WORK, BEGINNING INSTALLATION OF ANY UTILITIES, BRINGING IN ANY NEW GRAVEL FOR THE NEW PAVED AREAS, PAVING, AND FINAL INSPECTION.
10. TOPSOIL SHALL BE STOCKPILED, SEEDED, AND MULCHED UNTIL REUSED. SILT FENCE SHALL BE PLACED AND STAKED CONTINUOUSLY AROUND THE DOWNSLOPE PERIMETER OF THE TOPSOIL PILES.
11. HEALTHY EXISTING TREES AS SHOWN ON THE SITE PLAN TO BE SAVED SHALL BE PROTECTED BY THE CONTRACTOR.
12. OPEN CUT AREAS SHALL BE MULCHED OUTSIDE OF ACTUAL WORK AREAS, AND SILT FENCE SHALL BE EMPLOYED TO CONFINe SHEET WASH AND RUNOFF TO THE IMMEDIATE OPEN AREA AS ORDERED BY THE ENGINEER.
13. AT COMPLETION OF GRADING, SLOPES, DITCHES, AND ALL DISTURBED AREAS SHALL BE SMOOTH AND FREE OF POCKETS WITH SUFFICIENT SOIL TO ENSURE DRAINAGE.
14. FILL SHALL BE PLACED IN 6 INCH LIFTS AND THOROUGHLY COMPACTED TO 95% OF MAXIMUM DENSITY AT OPTIMAL MOISTURE CONTENT AS DETERMINED BY ASTM D698 STANDARD PROCTOR, UNLESS OTHERWISE SPECIFIED.

- 1) SANITARY AND STORM SEWER PIPES SHALL BE OF THE SIZE AND TYPE INDICATED ON THE PLANS. PVC PIPE SHALL BE SDR 35 CONFORMING TO ASTM D-3034, ASTM D-3212, AND ASTM F-477. CORRUGATED METAL PIPE SHALL CONFORM TO AASHTO M-130 FOR ACCOMP PIPE AND AASHTO M-246 TYPE B FOR POLYMER COATED STEEL PIPE. CORRUGATED POLYETHYLENE PIPE SHALL CONFORM TO AASHTO M-294, TYPE S (SMOOTH LINE).
- 2) ALL NEW GRAVITY SANITARY SEWER MAINS SHALL BE LEAK TESTED BY A LOW PRESSURE AIR TEST AND DEFLECTION TESTED. THE LOW PRESSURE AIR TEST WILL BE USED TO SIMULATE INFILTRATION OF AIR INTO THE SEWER. THE DEFLECTION TEST WILL BE USED TO DETERMINE THE DEFLECTION UNDER THE SUPERVISION OF THE ENGINEER. AIR TESTING SHALL BE PERFORMED IN ACCORDANCE WITH ASTM C628-80. THE MINIMUM ALLOWED TIME FOR A PRESSURE DROP FROM 3 PSI TO 2.5 PSI SHALL BE 12 MINUTES PER 100 FEET OF 8" SEWER. AFTER THE TEST, NOSE SHALL BE EXPOSED AND THE DEFLECTION SHALL BE 1/8" OR LESS. IF THE DEFLECTION TEST IS RUN USING A RIGID BAR OR MONORAIL, IT SHALL HAVE A DIAMETER EQUAL TO 90% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES. ALL MANHOLE AND JOINT INSPECTIONS, METHODS AND TESTING SHALL BE IN ACCORDANCE WITH CITY AND STATE STANDARDS AND THESE PLANS.
- 3) ALL SANITARY SEWER MANHOLES SHALL BE TESTED PRIOR TO CONSTRUCTION OF THE INVERT BY THE VACUUM TEST METHOD DESCRIBED IN THE TECHNICAL SPECIFICATIONS. FOR MANHOLES 10 TO 10 DEEP THE MINIMUM ALLOWED TIME FOR A VACUUM DROP FROM 10" TO 9" OF MERCURY SHALL BE 2 MINUTES. FOR MANHOLES GREATER THAN 10' DEEP THE MINIMUM ALLOWED TIME SHALL BE 2 MINUTES AND 30 SECONDS.



PUMP STATION SPECIFICATIONS

1. THE PUMP STATION TANK SHALL HAVE SUFFICIENT CAPACITY TO ACCOMMODATE THE REQUIRED PUMP, THE SPECIFIED DOSE VOLUME, AND THE NECESSARY EMERGENCY STORAGE VOLUME.

2. LAMOUREUX & DICKINSON RECOMMENDS THE USE OF A WATERTIGHT, STEEL-REINFORCED, 4,000 PSI, 72" x 144" (L x D) CONCRETE TANK CONSTRUCTED TO WITHSTAND EARTH LOADING. HOWEVER, THE OWNER, AT HIS/HER OWN DISCRETION, MAY USE AN ALTERNATIVE STRUCTURE IN CONFORMANCE WITH THE VERMONT ENVIRONMENTAL PROTECTION RULES.

3. THE TANK SHALL HAVE SUFFICIENT CAPACITY FOR THE SPECIFIED DOSE AND EMERGENCY STORAGE VOLUMES.

4. IF LEDGE IS ENCOUNTERED AT A DEPTH INSUFFICIENT TO ACCOMMODATE THE SPECIFIED TANK, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR ALTERNATE STRUCTURE RECOMMENDATIONS.

5. THE PUMP STATION SHALL BE CONSTRUCTED TO MINIMIZE THE RISK OF FREEZING OF EFFLUENT IN THE PPES OR STRUCTURE.

6. BACKFILL SIDES AND TOP OF TANK WITH SAND OR GRAVEL. ALL BACKFILL MATERIAL AROUND THE TANK SHALL BE THOROUGHLY COMPACTED TO NOT LESS THAN 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY THE ASTM-7-99 STANDARD PROCTOR.

PUMP STATION DESIGN COMPUTATIONS.

A. DAILY FLOW (BASED ON EPR DESIGN FLOWS):

DESIGN FLOW FROM 9 UNITS (210 GPD/UNIT)	1,980 GPD
SEWER MAIN INFILTRATION	87 GPD
TOTAL FLOW	1,977 GPD

B. AVERAGE FLOWRATE:

1,977 GPD	■ 2.1 GPM
18 HOURS x 50 MIN/HR	

C. HEAD LOSSES:

3" DVELY PIPE (200' SDR 26 PVC)	1.2 FT
STATOLIFT (146-125)	21.0 FT
VALVES & FITTINGS	4.0 FT
TOTAL HEAD LOSS	26.2 FT

PUMP REQUIREMENTS - 1 SUBMERSIBLE SEWAGE EJECTOR PUMP CAPABLE OF PUMPING A MINIMUM OF 50 GPM AT 30 FT TOTAL HEAD, SINGLE PHASE (HYDROMATIC S835 OR EQUAL).

E. ELECTRICAL/CONTROLS: ALL ELECTRIC WIRING SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE

F. FLOATS: MERCURY SWITCH TO BE COMPLETELY SEALED, MADE OF CORROSION RESISTANT SOLUTION AND INTRINSICALLY SAFE. ELECTRICAL CABLE TO BE FLEXIBLE TWO CONDUCTOR WITH NEOPRENE JACKET.

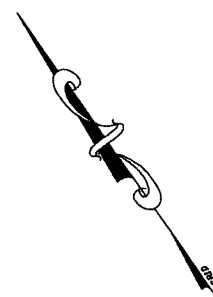
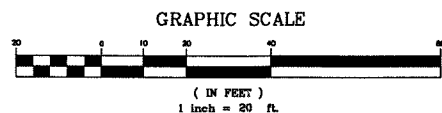
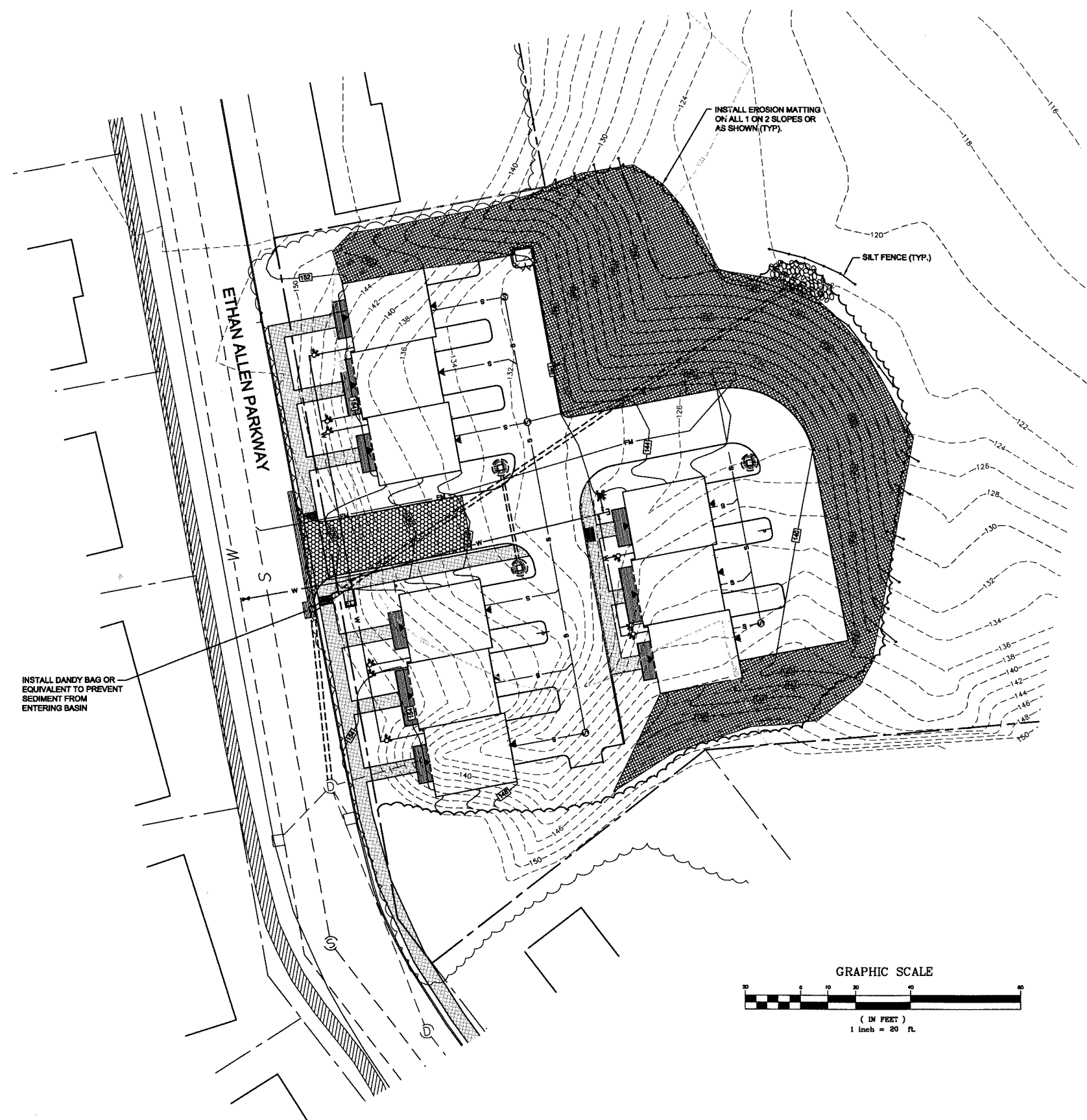
G. DOSE DESIGN:

WITH 12 H/DAY FLOWRATE = 3 GPM
DAILY FLOW = 1,977 GPD
DOSE VOLUME FOR 30 MIN. MAXIMUM RETENTION TIME IS
3 GPM X 30 MINUTES = 90 GALLON DOSE.

H. EMERGENCY STORAGE (BASED ON STATE DESIGN FLOWS WITH FUTURE EXPANSION):

PROVIDE 24 HOURS OF STORAGE
TOTAL DAILY FLOW (STATE FIGURES)= 1,977 GPD
1,977 GALLONS PROVIDED

I. SUBMITTALS REQUIRED: PUMP, ACCESS LID, WEYBELL,
FLOATS AND FLOAT HANGER BRACKET, CHECK VALVES, GATE
VALVES, SOLID SLEEVE COUPLINGS, AND OPERATION AND
MAINTENANCE MANUALS.



LEGEND

---	PROJECT BOUNDARY
---	PROPERTY LINE
---	SIDELINE OF EASEMENT
---	BUILDING SETBACK
N/F	NOW OR FORMERLY
---	EXISTING GROUND CONTOUR
---	EXISTING WATER LINE, GATE VALVE & HYDRANT
---	EXISTING SANITARY SEWER LINE & MANHOLE
---	EXISTING STORM LINE AND CATCH BASIN
---	NEW TREE LINE
---	NEW STREET LIGHT
---	NEW WATER LINE, GATE VALVE AND HYDRANT
---	NEW SANITARY SEWER LINE AND MANHOLE
---	NEW STORM LINE AND CATCH BASIN
⑨	PROPOSED UNIT NUMBER

EPSC LEGEND

---	STABILIZED CONSTRUCTION EXIT
---	EROSION MATTING
---	SILT FENCE
---	STONE INLET PROTECTION

1-25-16	REVISED PER TECHNICAL REVIEW NOTES	DLH
5-24-11	ADD EASEMENT AND CONVEYANCE TO CITY	DLH
4-4-11	REVISE LAYOUT	DLH
10-29-10	REVISE LAYOUT	DLH
8-26-10	GENERAL REVISIONS PER COURT APPEAL	DLH
9-11-09	REVISED PVIOUS CONCRETE DETAILS	DLH
7-13-09	REVISED LIGHTING AND LANDSCAPING	DLH
1-9-08	REVISED DRIVEWAY LAYOUT	DLH
10-5-07	REVISED LAYOUT	DLH
8-7-07	REVISED LAYOUT	DLH
Date	Revision	By

These plans shall only be used for the purpose shown below:

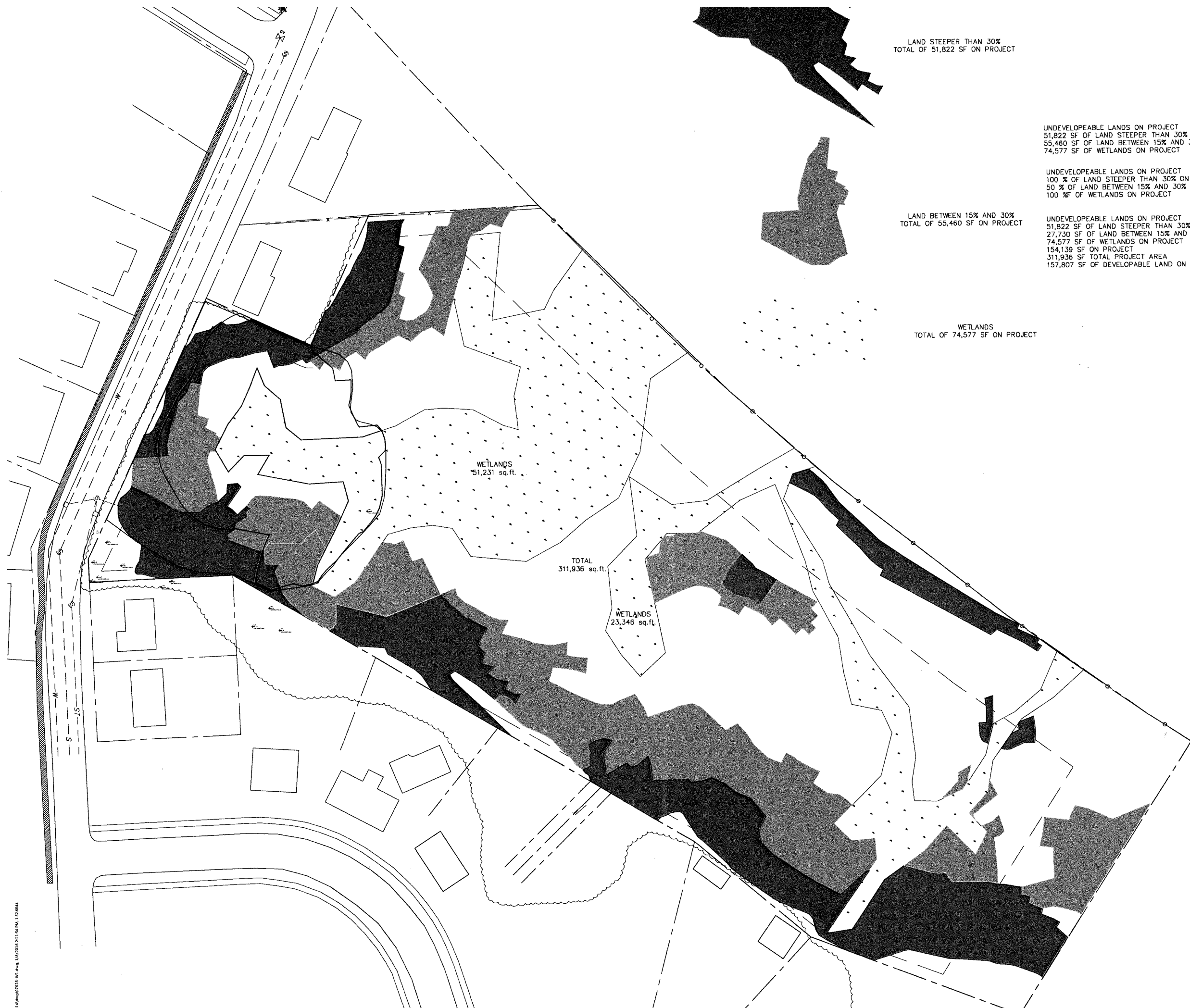
<input type="checkbox"/> Sketch/Concept	<input type="checkbox"/> Act 250 Review
<input type="checkbox"/> Preliminary	<input type="checkbox"/> Construction
<input type="checkbox"/> Final Local Review	<input type="checkbox"/> Record Drawing

NOT FOR CONSTRUCTION

Lands of Tim Alles & Bill Ellis Ethan Allen Parkway, Burlington, Vermont A PLANNED RESIDENTIAL DEVELOPMENT EROSION PREVENTION & SEDIMENT CONTROL PLAN	proj. no. 07028 survey Others design DLH drawn SEA checked D.J.G. date 04/09/07 scale 1" = 20' sh. no. 11 of 11
---	--

LD LAMOREUX & DICKINSON Consulting Engineers, Inc. 14 Morse Drive Essex Junction, VT 05452 Tel: 802-878-4450

RECEIVED
FEB 08 2016
DEPARTMENT OF
PLANNING & ZONING



LAND STEEPER THAN 30%
TOTAL OF 51,822 SF ON PROJECT

UNDEVELOPEABLE LANDS ON PROJECT
51,822 SF OF LAND STEEPER THAN 30% ON PROJECT
55,460 SF OF LAND BETWEEN 15% AND 30% ON PROJECT
74,577 SF OF WETLANDS ON PROJECT

UNDEVELOPEABLE LANDS ON PROJECT
100 % OF LAND STEEPER THAN 30% ON PROJECT
50 % OF LAND BETWEEN 15% AND 30% ON PROJECT
100 % OF WETLANDS ON PROJECT

LAND BETWEEN 15% AND 30%
TOTAL OF 55,460 SF ON PROJECT

UNDEVELOPEABLE LANDS ON PROJECT
51,822 SF OF LAND STEEPER THAN 30% ON PROJECT
27,730 SF OF LAND BETWEEN 15% AND 30% ON PROJECT
74,577 SF OF WETLANDS ON PROJECT
154,139 SF ON PROJECT
311,936 SF TOTAL PROJECT AREA
157,807 SF OF DEVELOPABLE LAND ON PROJECT.

WETLANDS
TOTAL OF 74,577 SF ON PROJECT

WETLANDS
51,231 sq. ft.

TOTAL
311,936 sq. ft.

WETLANDS
23,346 sq. ft.

RECEIVED
JAN 11 2008

DEPARTMENT OF
PLANNING

